

# BUSCH ARCHITECTS, INC.

310 FOURTH AVENUE SOUTH  
SUITE 1000  
MINNEAPOLIS, MINNESOTA 55415  
TEL: 612.333.2279  
AJMALDO@BUSCH-ARCHITECTS.COM

## CONSULTANT

## BID ISSUE SET

**CERTIFICATION**  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: JUNE 17, 2024 REG. NO. 68977  
PRINTED NAME: AMANDA MALDONADO

COMMISSION NO.: 23-11  
DRAWN BY: CAB/AM  
CHECKED BY: AM  
DATE: JUNE 17, 2024  
BID ISSUE DATE: JUNE 18, 2024  
REVISION DATES:

## PROJECT TITLE

DII WAREHOUSE REMODEL  
MCGREGOR, MN

20898 380TH STREET  
MCGREGOR, MN 55760

## OWNER

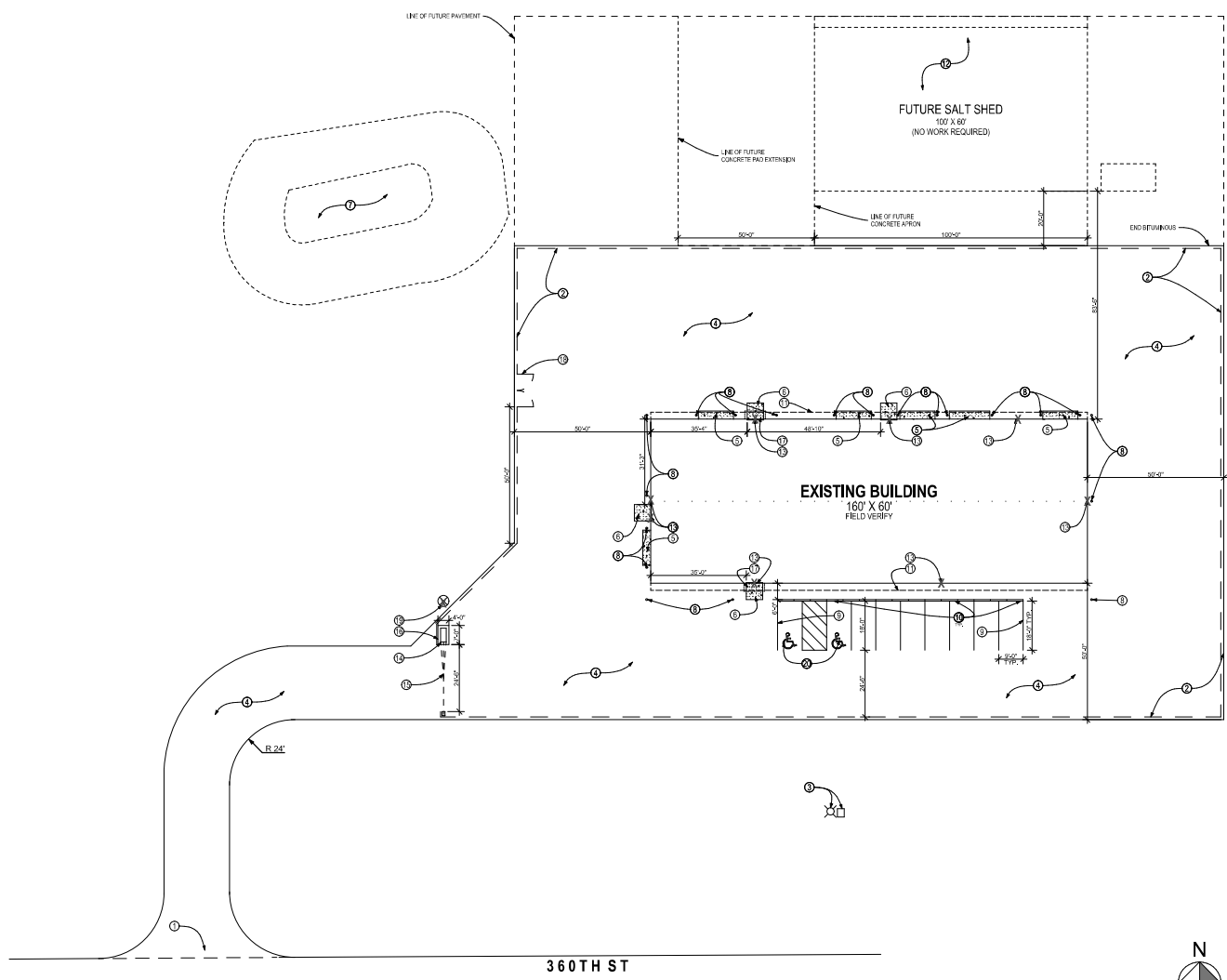
MILLE LACS BAND OF OJIBWE  
43408 OODENA DRIVE  
ONAMIA, MN 56359

## SHEET TITLE

SITE PLAN

# A1.0

SHEET NO.  
SHEET 4 OF 12

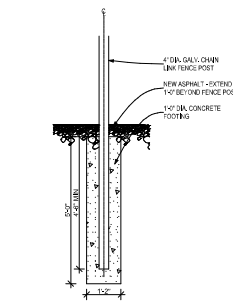


### FLOOR PLAN KEYNOTES

1. MODIFY CURB CUT - SEE CIVIL.
2. CHAIN LINK FENCE 8'-0" HIGH, INSTALL POSTS 10'-0" O.C. SEE 2/A1.0
3. EXISTING POWER POLE AND TRANSFORMER
4. BITUMINOUS PAVEMENT - EXTEND 1'-0" PAST FENCE (TYP.), SEE CIVIL.
5. CONCRETE APRON. SEE 8/A3.0
6. CONCRETE STIOP. SEE 5.8/A3.0
7. SEPTIC MOUND/DRAIN FIELD. SEE CIVIL.
8. BOLLARDS W/ PLASTIC COVERS. SEE 7/A3.0
9. 4" REFLECTIVE PARKING STRIPES.
10. TREE STOPS.
11. ROOF OVERHANG ABOVE, SHOWN DASHED.
12. FUTURE SALT SHED AND CONCRETE APRON, PHASE 2.
13. EXTERIOR BUILDING MOUNTED LIGHT FIXTURE - SEE ELEC.
14. PIVOT GATE OPERATOR - SEE ELEC.
15. PIVOT GATE. SEE ALTERNATE #1.
16. CONCRETE PAD. SEE 5.8/A3.0 (S.N.)
17. ICE SHIELD CANOPY. SEE 9/A3.0
18. CHAIN LINK SWING GATE IN CHAIN LINK FENCE. SEE 1/A1.0
19. NEW EXTERIOR LIGHT POLE - SEE ELEC.
20. HANDICAP LABEL AND ACCESSIBLE AISLE.

### GENERAL SITE PLAN NOTES

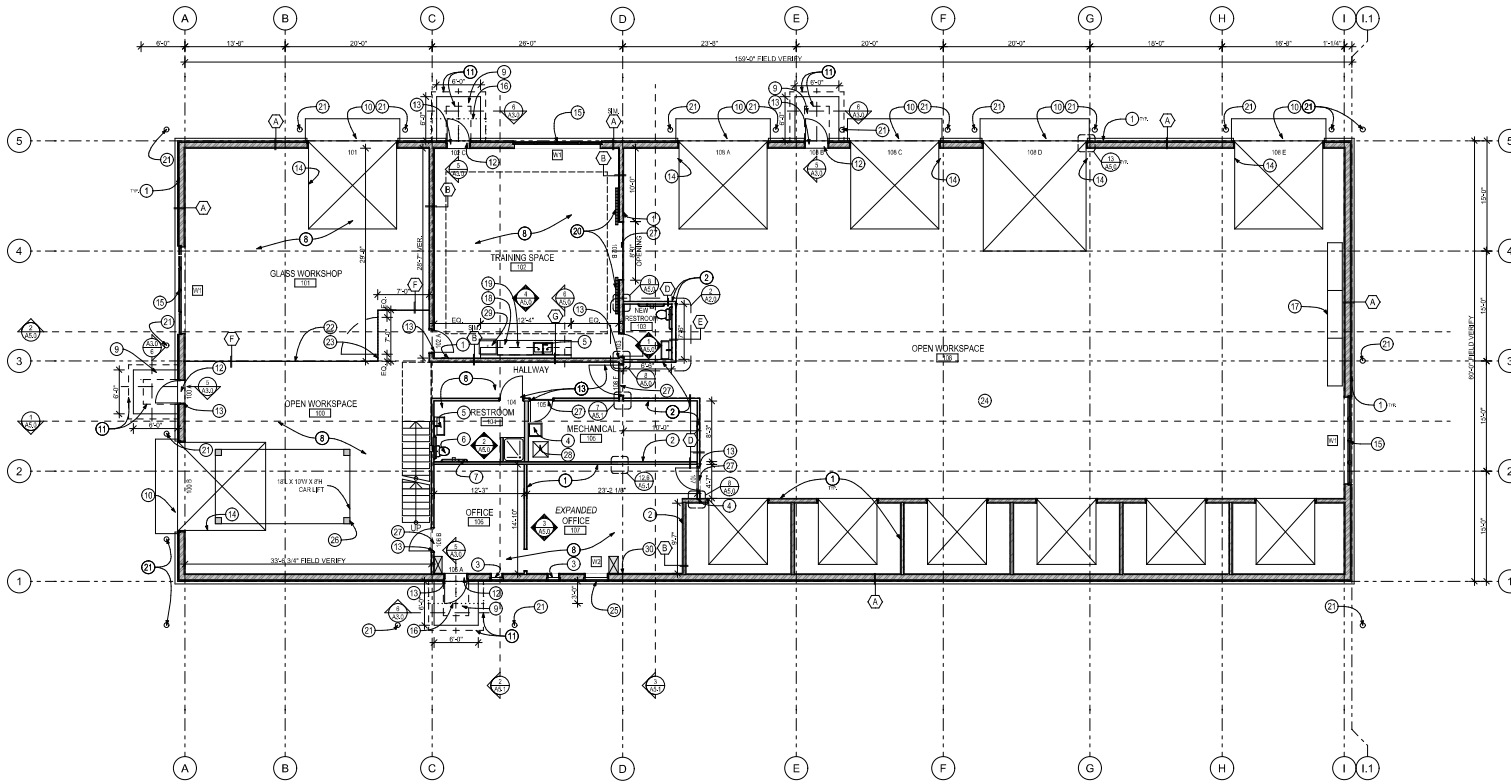
- A. SEE A2.0 FOR INTERIOR FLOOR PLAN LAYOUT.
- B. SEE CIVIL FOR ADDITIONAL NOTES.
- C. SEE CIVIL FOR SITE DEMOLITION.
- D. FIELD VERIFY ALL BUILDING CONDITIONS AND DIMENSIONS. REPORT DISCREPANCIES BETWEEN FOUND CONDITIONS AND CONSTRUCTION PLANS TO THE ARCHITECT IMMEDIATELY.
- E. PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE. RETURN TO ORIGINAL CONDITION IF DAMAGE OCCURS DURING CONSTRUCTION ACTIVITIES.
- F. PROVIDE 360-DEGREE SECURITY CAMERA COVERAGE AT EXTERIOR BUILDING PERIMETER - SEE ELEC.



2 FENCE POST DETAIL  
A1.0 / SCALE: 1" = 20"

1 SITE PLAN  
A1.0 / SCALE: 1" = 20"





**FLOOR PLAN KEYNOTES**

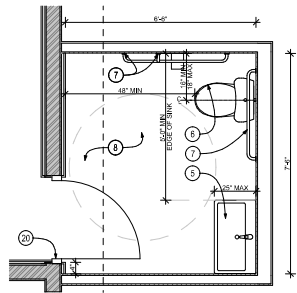
- EXISTING WALL SHOWN SHADED. PROTECT FROM DAMAGE.
- NEW WALL. SEE WALL TYPES A2.0.
- EXISTING WINDOW. PROTECT FROM DAMAGE.
- EYEWASH. SEE MECH.
- SINK. SEE MECH.
- ADA TOILET. SEE MECH.
- ADA GRAB BARS.
- EPOXY FLOORING. PREPARE SURFACE PER MANUFACTURER INSTRUCTIONS.
- CONCRETE STOOP. SEE 1.6/A3.0.
- NEW CONCRETE APRON. SEE 8/A3.0 FOR DETAIL.
- LINE OF FOOTING BELOW.
- METAL EXTERIOR THRESHOLD.
- R.M. FRAME AND DOOR. SEE 4.5/A7.0.
- NEW OVERHEAD DOOR AND TRACK/OPENER.
- ALUMINUM STOREFRONT. SEE 3/A5.1.
- IMPROVE SHIELD CANOPY ABOVE. SEE 9/A3.0.
- WORKBENCH.
- LOWER CASEWORK.
- UPPER CASEWORK.
- SLEEPING DOOR. SEE 4.5/A7.0.
- BOLLARD. SEE 7/A3.0 FOR DETAIL.
- CHAIN LINK FENCE.
- CHAIN LINK GATE.
- EXISTING CONCRETE FLOOR.
- EXISTING CAR LIFT.
- TRANSITION STRIP.
- MOP SINK. SEE MECH.
- APPLIANCE - G.G. TO PROVIDE AND INSTALL.
- PROVIDE WELDED CONNECTION TO PRIMARY BUILDING FRAME. F.V. CONDITION PRIOR TO FABRICATION.

**PLAN GENERAL NOTES**

- VERIFY ALL BUILDING CONDITIONS AND DIMENSIONS. REPORT DISCREPANCIES BETWEEN FOUND CONDITIONS AND CONSTRUCTION PLANS TO THE ARCHITECT IMMEDIATELY.
- PROTECT ALL ADJACENT EXISTING MATERIALS TO REMAIN FROM DAMAGE. RETURN TO ORIGINAL CONDITION IF DAMAGED.
- EXIST. CONCRETE SLAB TO REMAIN. PATCH AND FILL WHERE NECESSARY.
- VERIFY WORK COMPLETED IS ACCEPTABLE TO OTHER TRADES.
- SEE MECH/ELEC FOR ADDITIONAL INFORMATION RELATED TO MEP EQUIPMENT AND SYSTEMS.

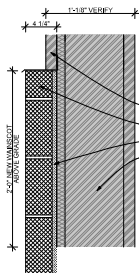
1 FLOOR PLAN

A2.0 / SCALE: 1/8" = 1'



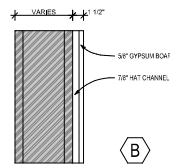
2 ENLARGED ADA RESTROOM PLAN

A2.0 / SCALE: 1/2" = 1'



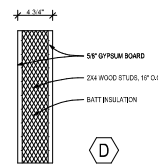
3 WALL TYPES

A2.0 / SCALE: 1/2" = 1'

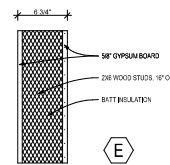


B

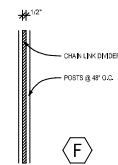
NOT USED



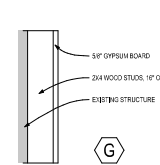
D



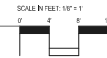
E



F



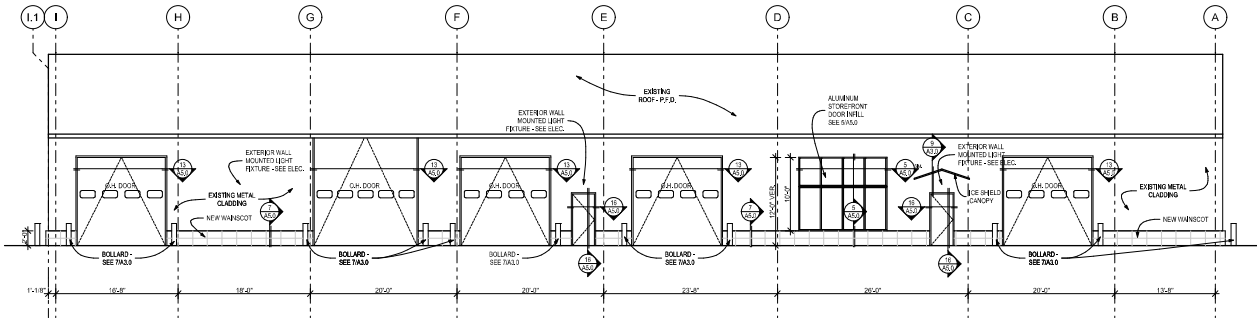
G



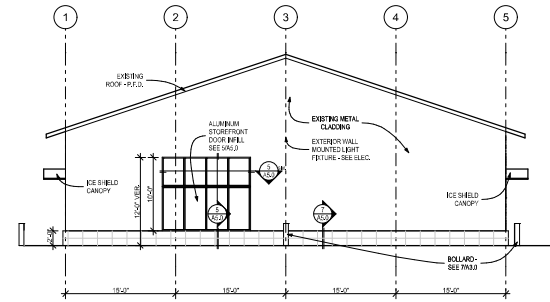


310 FOURTH AVENUE SOUTH  
SUITE 1000  
MINNEAPOLIS, MINNESOTA 55415  
TEL: 612.333.2279  
A.JMALDO@BUSCH-ARCHITECTS.COM

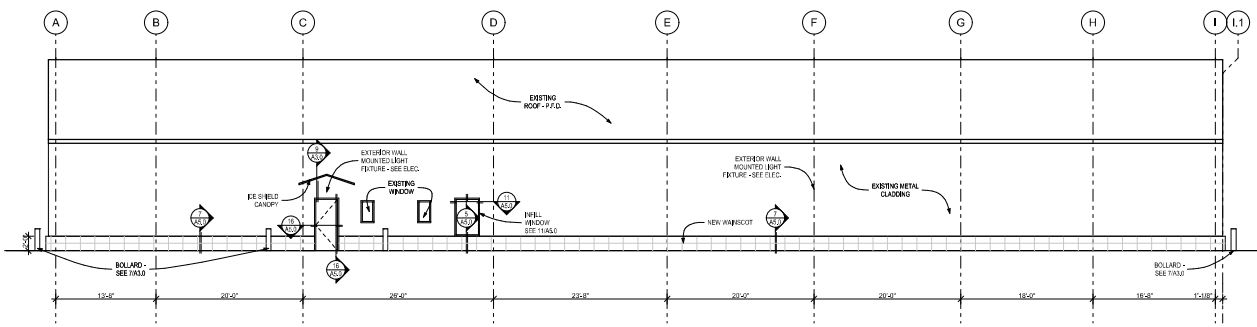
CONSULTANT



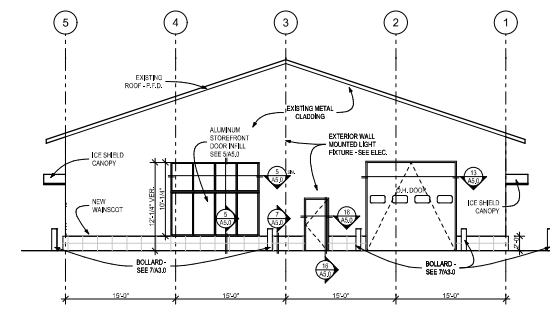
1 NORTH ELEVATION  
A3.0 SCALE: 1/8" = 1'



2 EAST ELEVATION  
A3.0 SCALE: 1/8" = 1'



3 SOUTH ELEVATION  
A3.0 SCALE: 1/8" = 1'



4 WEST ELEVATION  
A3.0 SCALE: 1/8" = 1'

**ELEVATION GENERAL NOTES**  
A. PROTECT ALL EXISTING U.N.O.  
B. SEE MECH. AND ELEC.  
C. FOLLOW MANUFACTURER'S GUIDELINES/DETAILS FOR ICE SHIELD CANOPY.

**BID ISSUE SET**  
**CERTIFICATION**  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: JUNE 17, 2024 REG. NO. 58977  
PRINTED NAME: AMANDA MALDONADO

COMMISSION NO.: 23-11  
DRAWN BY: CABIAM  
CHECKED BY: AM  
DATE: JUNE 17, 2024  
BID ISSUE DATE: JUNE 18, 2024  
REVISION DATES:

**PROJECT TITLE**  
DIJ WAREHOUSE REMODEL  
MCGREGOR, MN

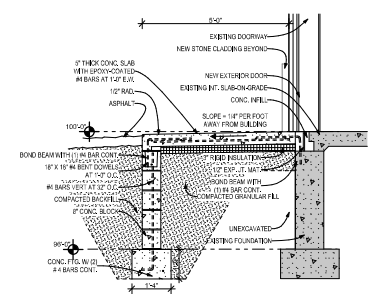
20998 380TH STREET  
MCGREGOR, MN 55760

**OWNER**  
MILLE LACS BAND OF OJIBWE  
43408 OODENA DRIVE  
ONAMIA, MN 56359

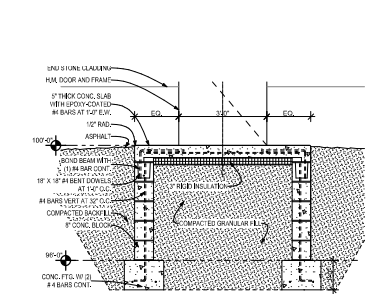
**SHEET TITLE**  
EXTERIOR ELEVATIONS AND DETAILS

**A3.0**

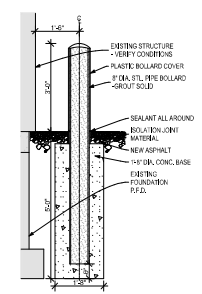
SHEET NO.  
SHEET 6 OF 12



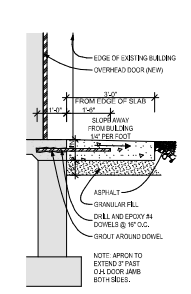
5 STOOP TO BUILDING CONNECTING SECTION  
A3.0 SCALE: 1/2" = 1'



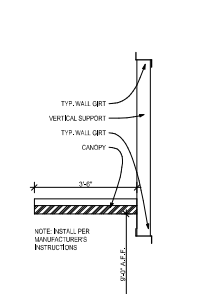
6 STOOP SECTION  
A3.0 SCALE: 1/2" = 1'



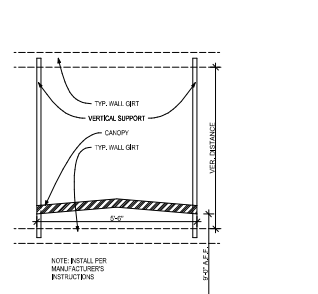
7 BOLLARD SECTION  
A3.0 SCALE: 1/2" = 1'



8 APRON SECTION  
A3.0 SCALE: 1/2" = 1'



9 ICE SHIELD CANOPY SECTION  
A3.0 SCALE: 1" = 1'



10 ICE SHIELD CANOPY ELEVATION  
A3.0 SCALE: 1" = 1'